

Attachment A

Selected Drawings

Development Application

Alterations and Additions to
Commercial Building
Lot 2 DP 533563

Drawing	Title	Rev
	Drawing Register / Basix Commitments	B
	Site Survey	
DA-0.01	Existing Site Plan	A
DA-0.02	Existing Basement Plan	A
DA-0.03	Existing Ground Floor Plan	A
DA-0.04	Existing First Floor Plan	A
DA-0.05	Existing Roof Plan	A
DA-0.06	Existing North East Elevation	A
DA-0.07	Existing South West Elevation	A
DA-0.08	Existing North West Elevation	A
DA-0.09	Existing South East Elevation	A
DA-0.10	Existing Section A	A
DA-1.01	Proposed Site Plan	A
DA-1.02	Proposed Basement Plan	B
DA-1.03	Proposed Ground Floor Plan	B
DA-1.04	Proposed First Floor Plan	B
DA-1.05	Proposed Second Floor Plan	B
DA-1.06	Proposed Attic Plan	B
DA-1.07	Proposed Roof Plan	B
DA-2.01	Proposed Section A	B
DA-2.02	Proposed Section B	B
DA-2.03	Proposed North East Elevation	B
DA-2.04	Proposed South West Elevation	B
DA-2.05	Proposed North West Elevation	B
DA-2.06	Proposed South East Elevation	B
DA-3.01	Site Calculations (a)	A
DA-3.02	Site Calculation (b)	A
DA-3.03	Waste Management Plan	A
DA-3.04	External Materials Schedule	A
DA-3.04a	Physcial Materials Board	A
DA-3.05	Concept Hydraulic Diagram	A
DA-3.06	Landscape Plan 1/4	A
DA-3.07	Landscape Plan 2/4	A
DA-3.08	Landscape Plan 3/4	A
DA-3.09	Landscape Plan 4/4	A

Drawing	Title	REV
DA-4.01	Studio Floor Plan	A
DA-4.02	1 Bedroom Unit Floor Plan	A
DA-4.03	Window Schedule 1	A
DA-4.04	Window Schedule 2	A
DA-4.05	Window Schedule 3	A

Amendments - Revision B - 13.02.26

1.

Lift has been re-located along grid line 4 in place of entrance ramp on the ground floor.
2.

Hallways into accessible bathrooms on both ground and first floors have been amended to allow required clearance for accessibility standards.
3.

Additional skylight along NW boundary to provide additional lighting into first floor commercial tenancy.
4.

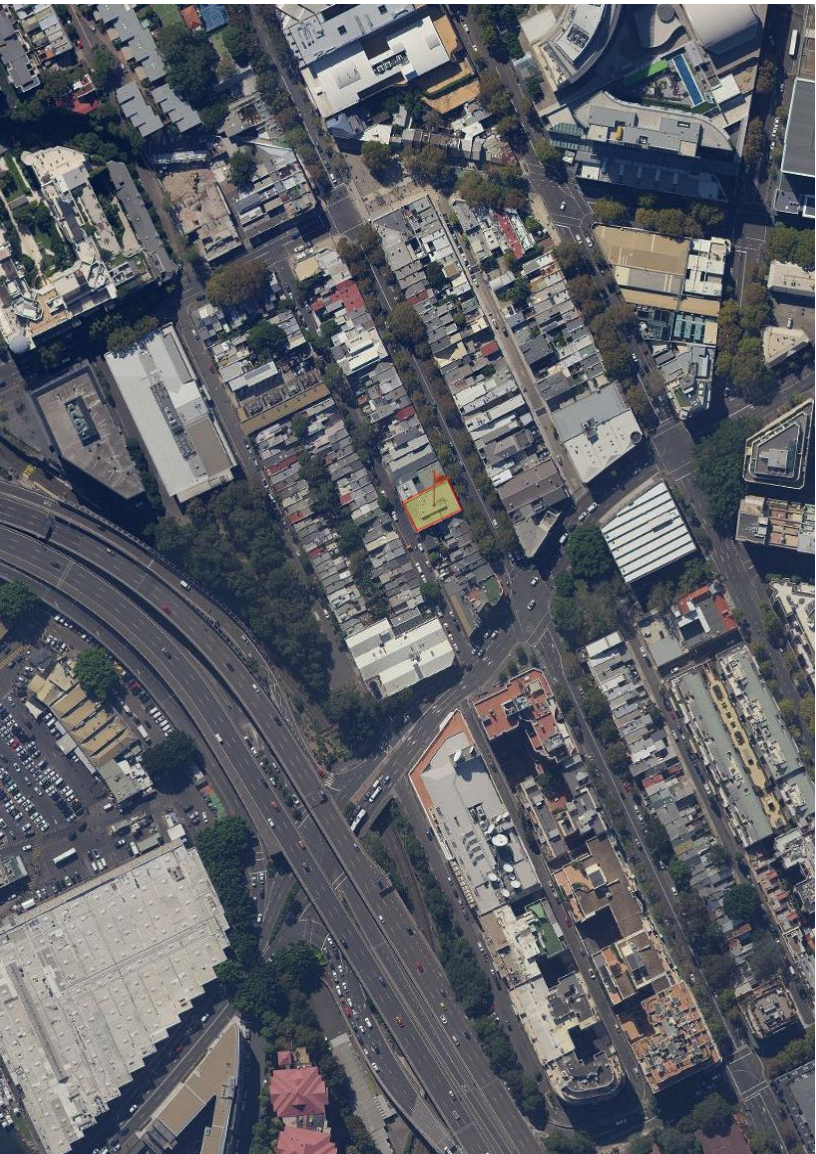
Second floor central courtyard space has been shrunk to provide more space to the adjacent studio dwellings.
5.

Balconies have been provided to eastern facing studio apartments.
6.

No works are being proposed to the rear parapet facing Little Mount Street. Rear landscaping along balcony has been removed.
7.

Second floor slab has been raised to provide additional head height to commerical tenancy on floor below.

Subject Site



Location
108, 50 Holt Street, Surry Hills, 2010

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Nominated Architect

Anthony SolomonRAIA 5684

Compliance

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Legend

- Existing Wall
- To be demolished
- New Const. / Timber

Elev.
- New Const. / Brickwork

Elev.
- New Const. / Concrete

Elev.
- New Const. / Metal

Elev.
- Glass
- Finished floor / relative level

FFL / RL
- Downpipe

DP

Date	Rev.	Description
01.09.25	A	Issued for DA
09.03.26	B	Response to DAP

Project

Alterations and Additions
183-187 Harris Street, Pyrmont

Client

Woon Hong Chung

Status

Development Application (DA)
Not For Construction

North

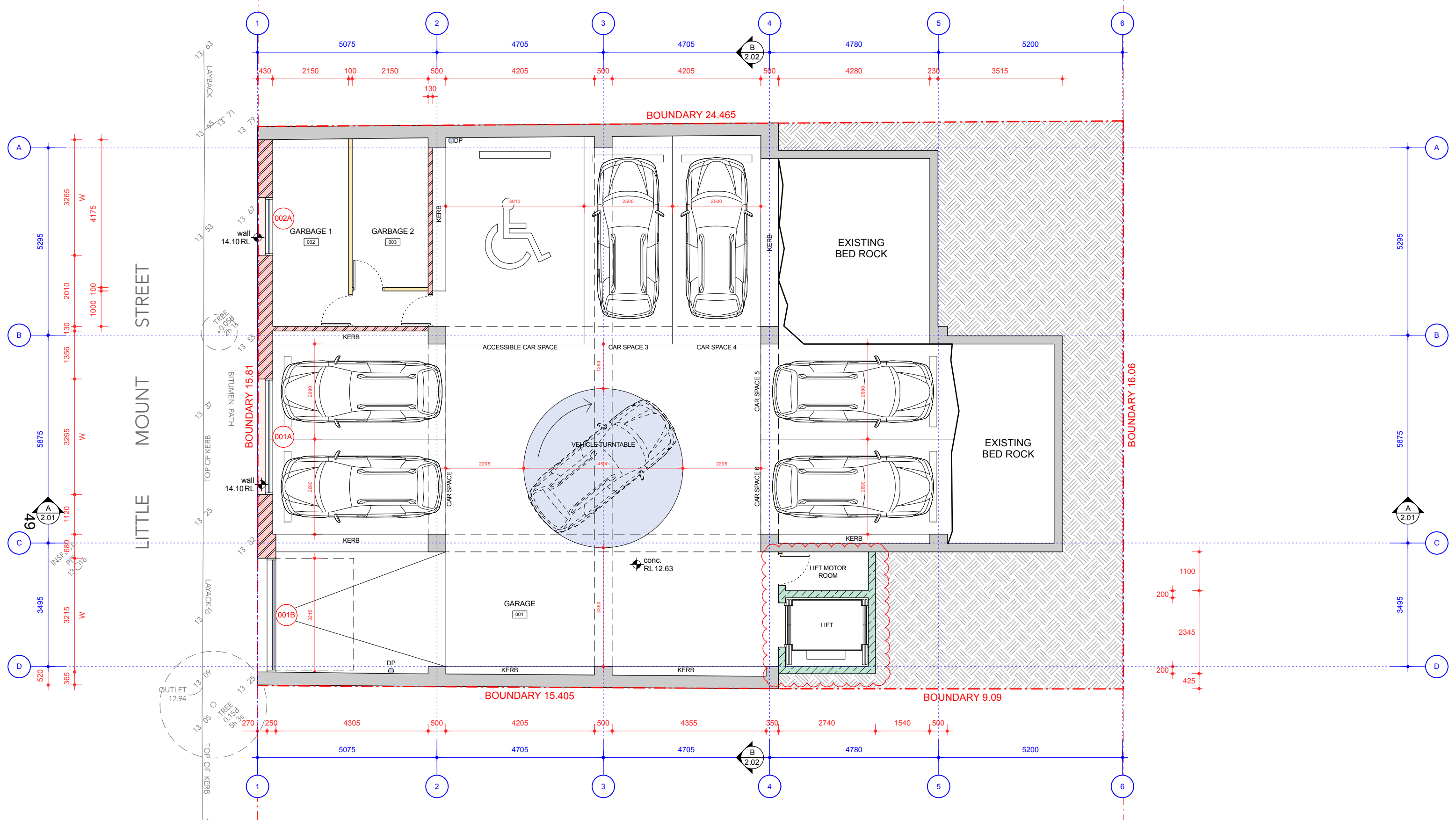


Drawing

Cover Page

Project No.

23007



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Legend	
Existing Wall	
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New Const. / Brickwork	 Elev.
New Const. / Concrete	 Elev.
New Const. / Metal	 Elev.
Glass	
Finished floor / relative level	FFL / RL
Downpipe	DP

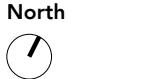
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Project
Alterations and Additions
183-187 Harris Street, Pyrmont

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Status
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Scale
1:100



Drawing
Proposed Basement Plan

Project No.
23007

Sheet No.
DA 1.02



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New Const. / Brickwork	 Elev.
New Const. / Concrete	 Elev.
New Const. / Metal	 Elev.
Glass	
Finished floor / relative level	FFL / RL
Downpipe	DP

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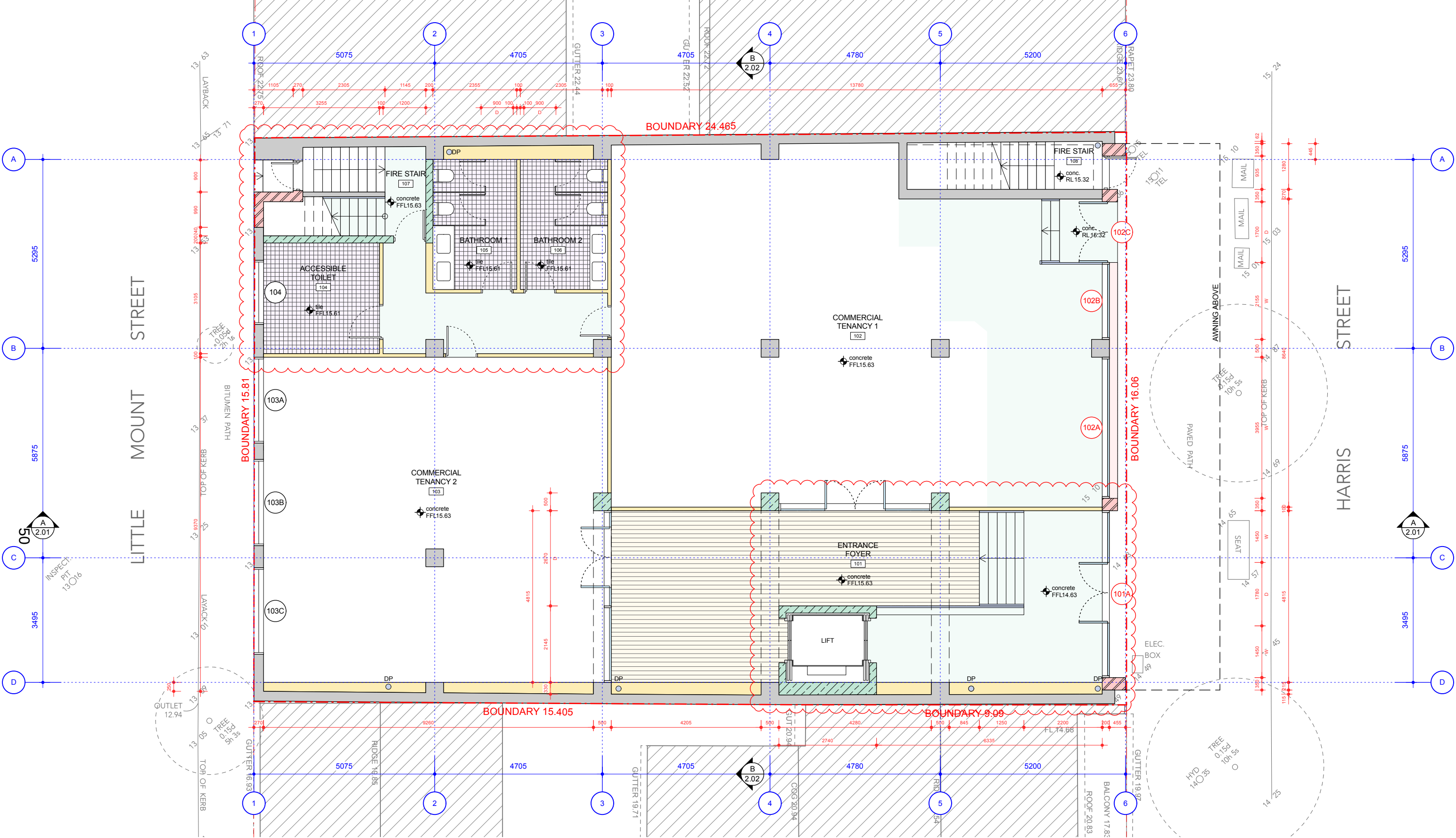
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North


Drawing
Proposed Ground Floor Plan

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Sheet No.
DA 1.03





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New Const. / Brickwork	 Elev.
New Const. / Concrete	 Elev.
New Const. / Metal	 Elev.
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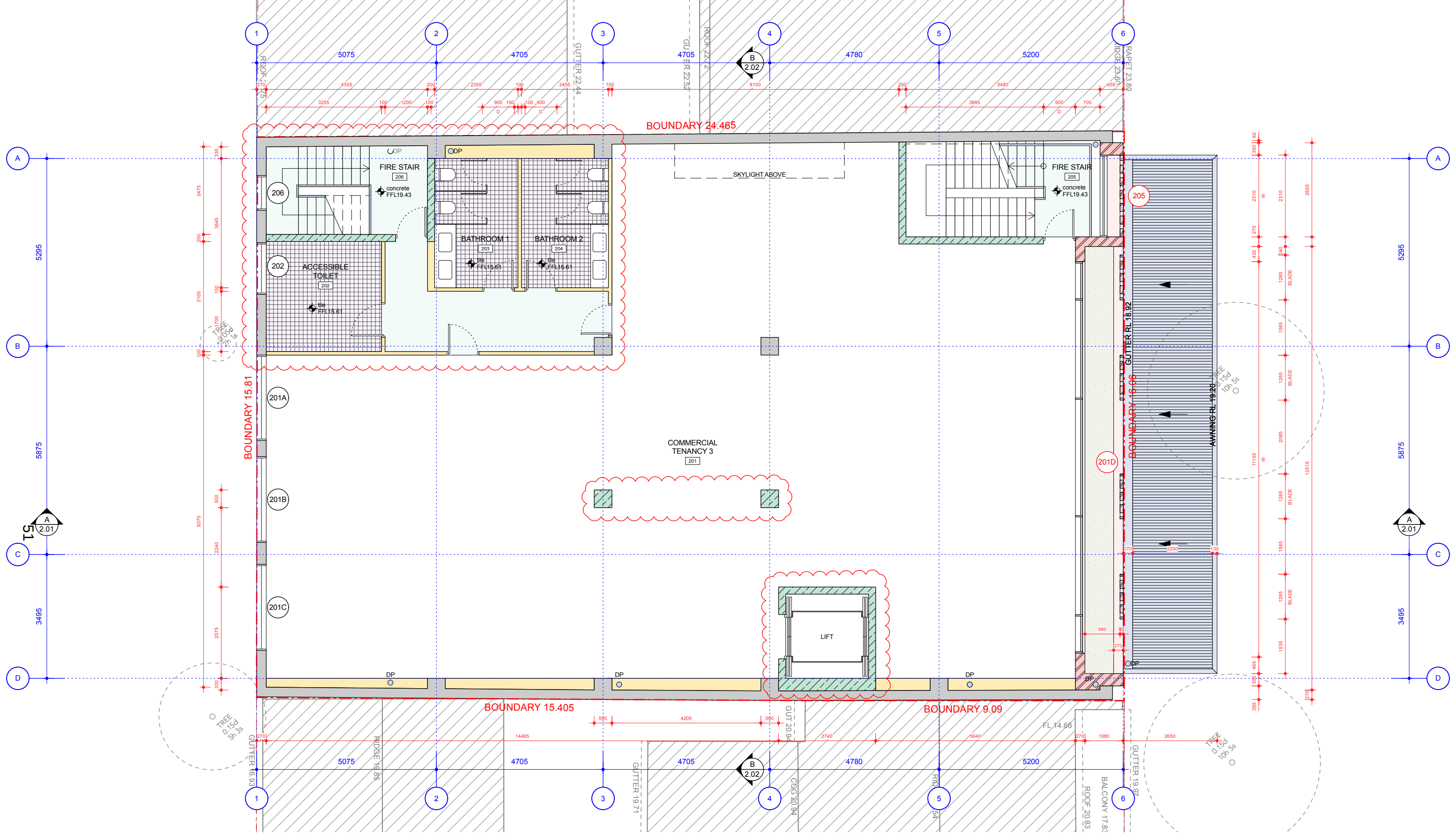
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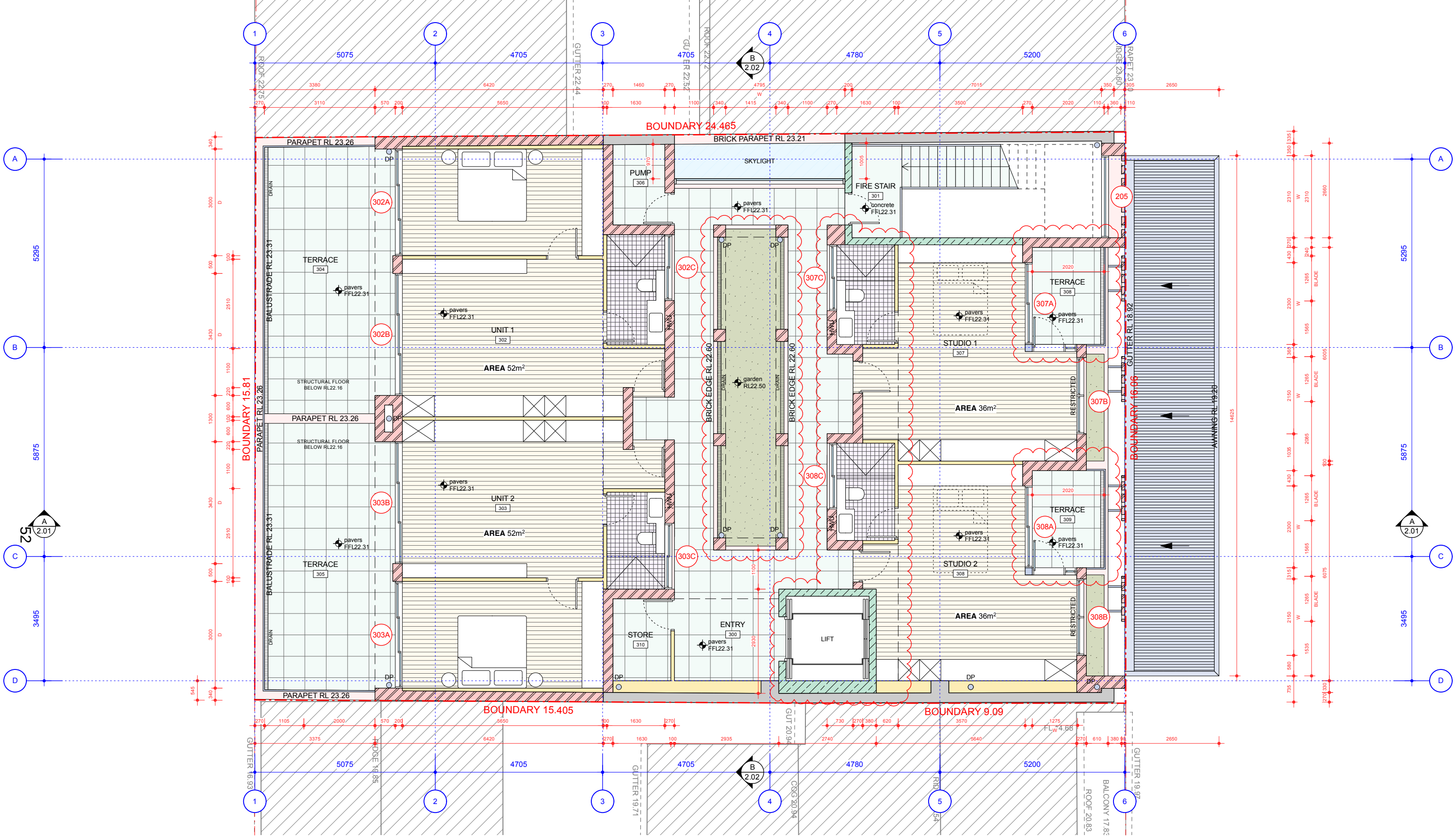
North


Drawing
Proposed First Floor Plan

Project No.
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Existing Wall	
To be demolished	
New Const. / Timber	 Elev.
New Const. / Brickwork	 Elev.
New Const. / Concrete	 Elev.
New Const. / Metal	 Elev.
Glass	
Finished floor / relative level	FFL / RL
Downpipe	DP

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Project
Alterations and Additions
183-187 Harris Street, Pyrmont

Client
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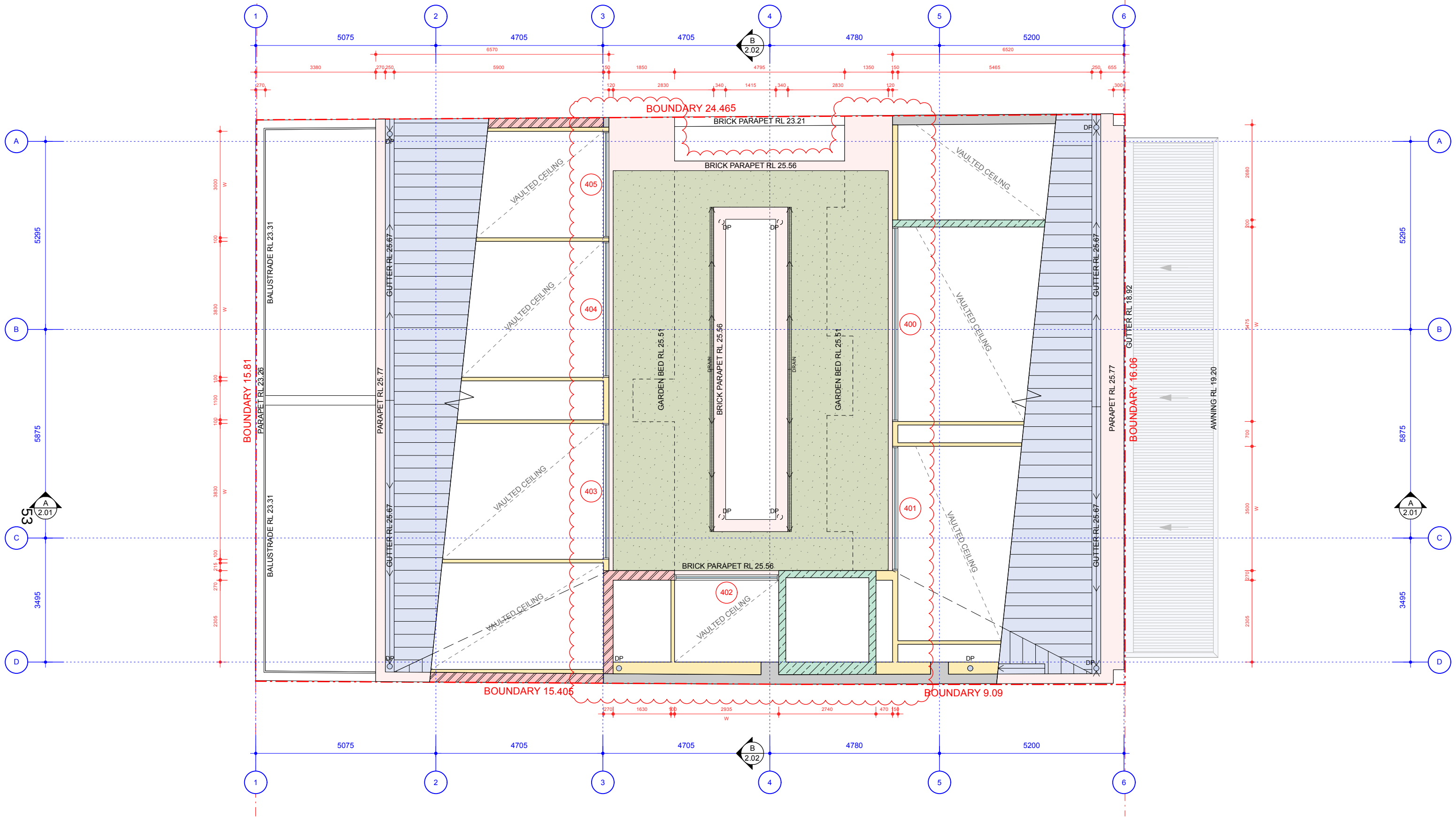
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North


Drawing
Proposed Second Floor Plan

Project No.
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Sheet No.
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Legend	
Existing Wall	
To be demolished	
New Const. / Timber	 Elev.
New Const. / Brickwork	 Elev.
New Const. / Concrete	 Elev.
New Const. / Metal	 Elev.
Glass	
Finished floor / relative level	FFL / RL
Downpipe	DP

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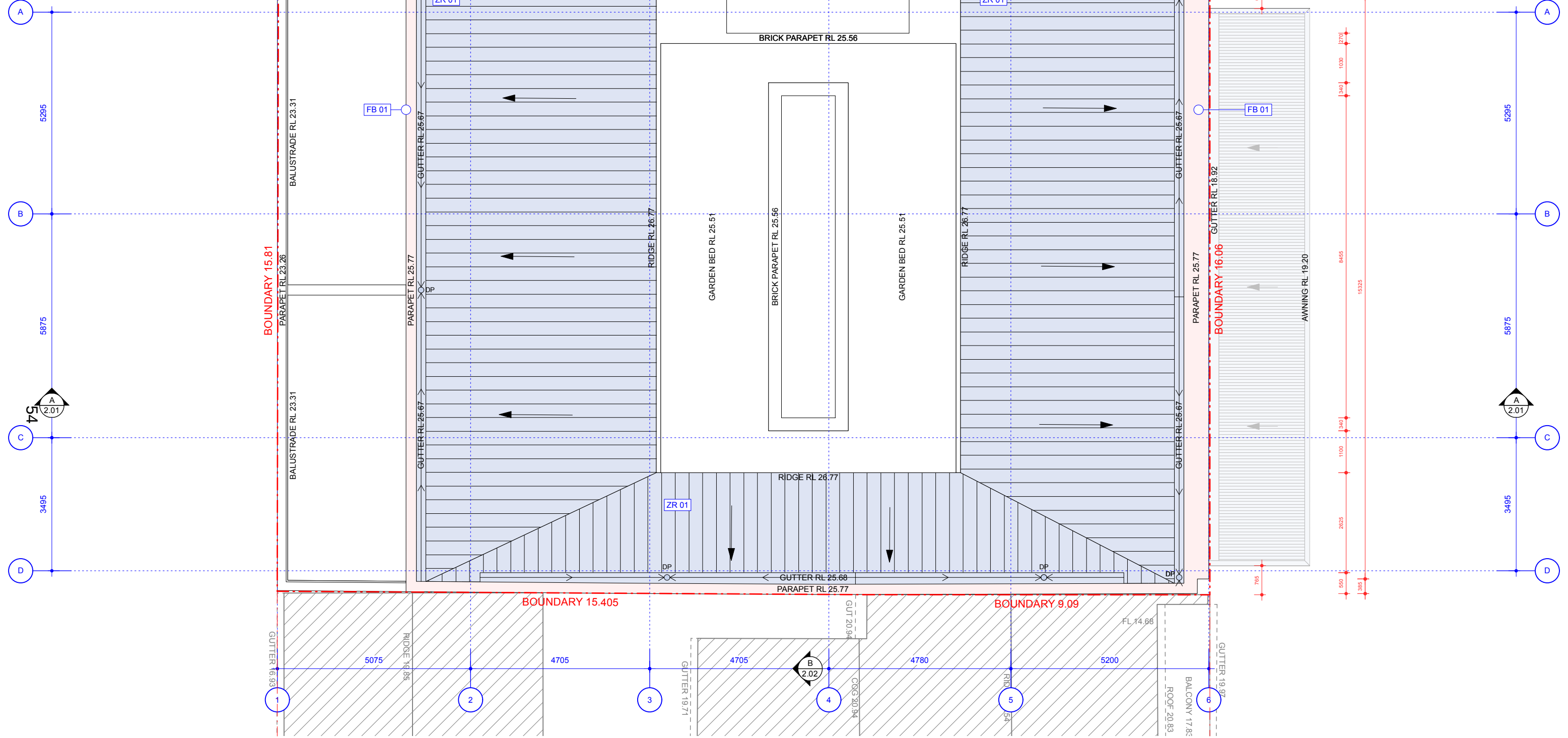
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Drawing
Proposed Attic Plan

Project No.
23007

Sheet No.
DA 1.06

MATERIALS LEGEND	
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FB 02	FACE BRICK
FB 03	FACE BRICK (HIT+MISS)
FB EX	EXISTING FACE BRICK
G 01	GLASS
ZR 01	ZINC ROOFING
MS 01	MESH SCREEN
AA 01	ANODISED ALUMINIUM
R 01	WHITE RENDER
GD 01	ALUMINIUM GARAGE DOOR



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Legend	
Existing Wall	
To be demolished	
New Const. / Timber	Elev.
New Const. / Brickwork	Elev.
New Const. / Concrete	Elev.
New Const. / Metal	Elev.
Glass	
Finished floor / relative level	FFL / RL
Downpipe	DP

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183-187 Harris Street, Pyrmont

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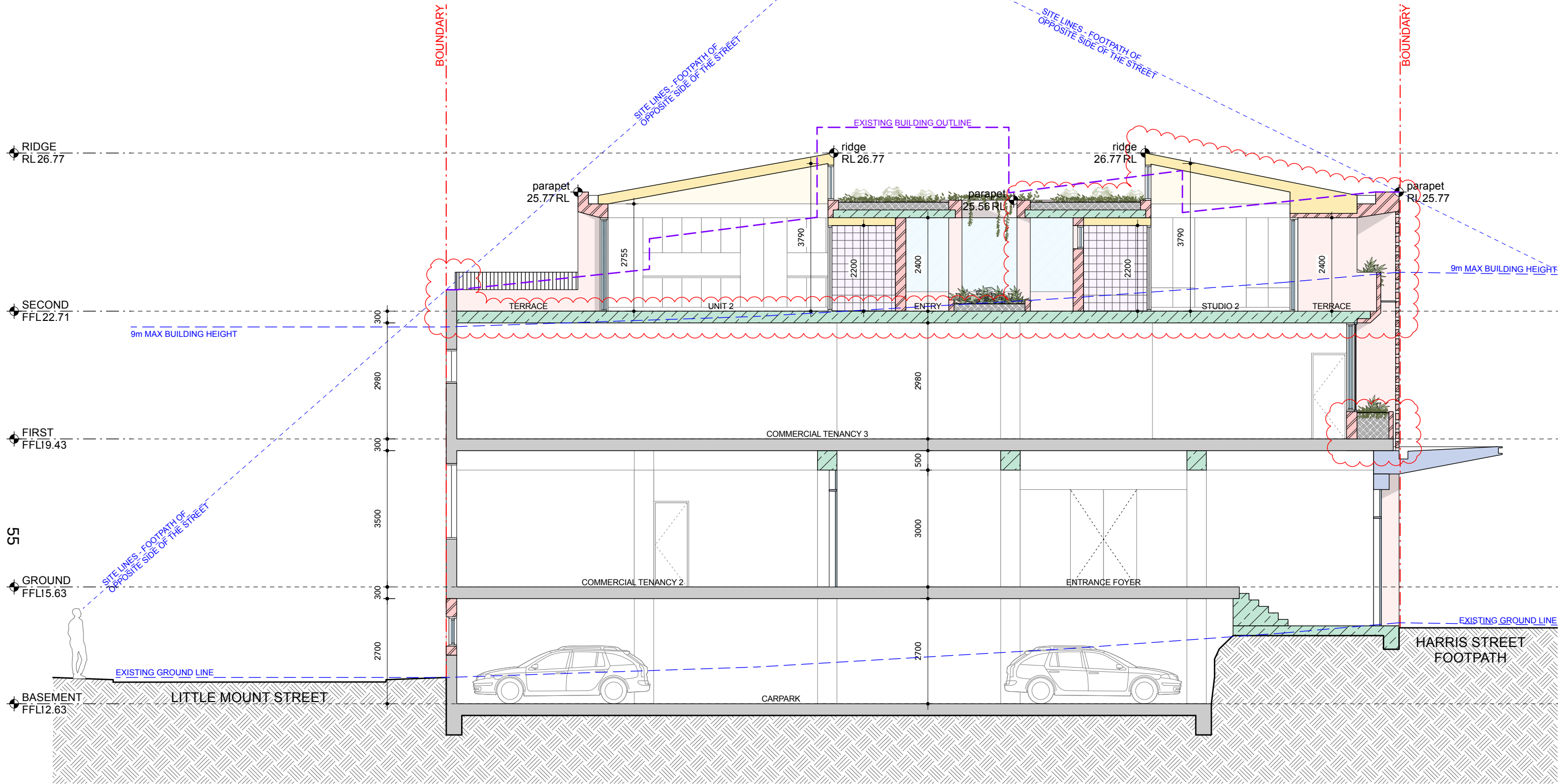
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Drawing
Proposed Roof Plan

Project No.
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Existing Wall	
To be demolished	
New Const. / Timber	 Elev.
New Const. / Brickwork	 Elev.
New Const. / Concrete	 Elev.
New Const. / Metal	 Elev.
Glass	
Finished floor / relative level	FFL / RL
Downpipe	DP

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Alterations and Additions
183-187 Harris Street, Pyrmont

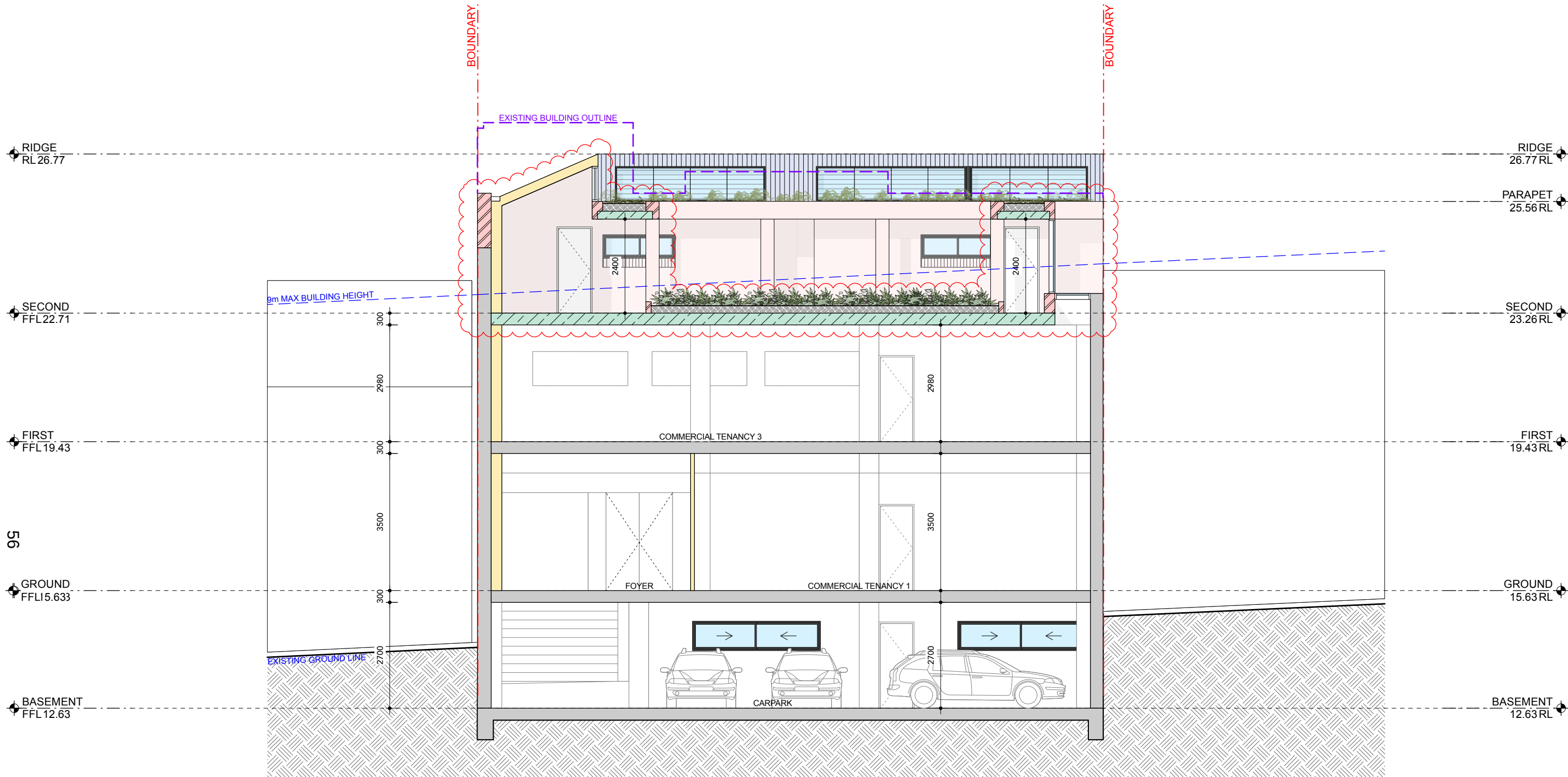
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Scale
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Drawing
Proposed Section A

Project No. 23007
Sheet No. DA 2.01



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Legend	
Existing Wall	
To be demolished	
New Const. / Timber	 Elev.
New Const. / Brickwork	 Elev.
New Const. / Concrete	 Elev.
New Const. / Metal	 Elev.
Glass	
Finished floor / relative level	FFL / RL
Downpipe	DP

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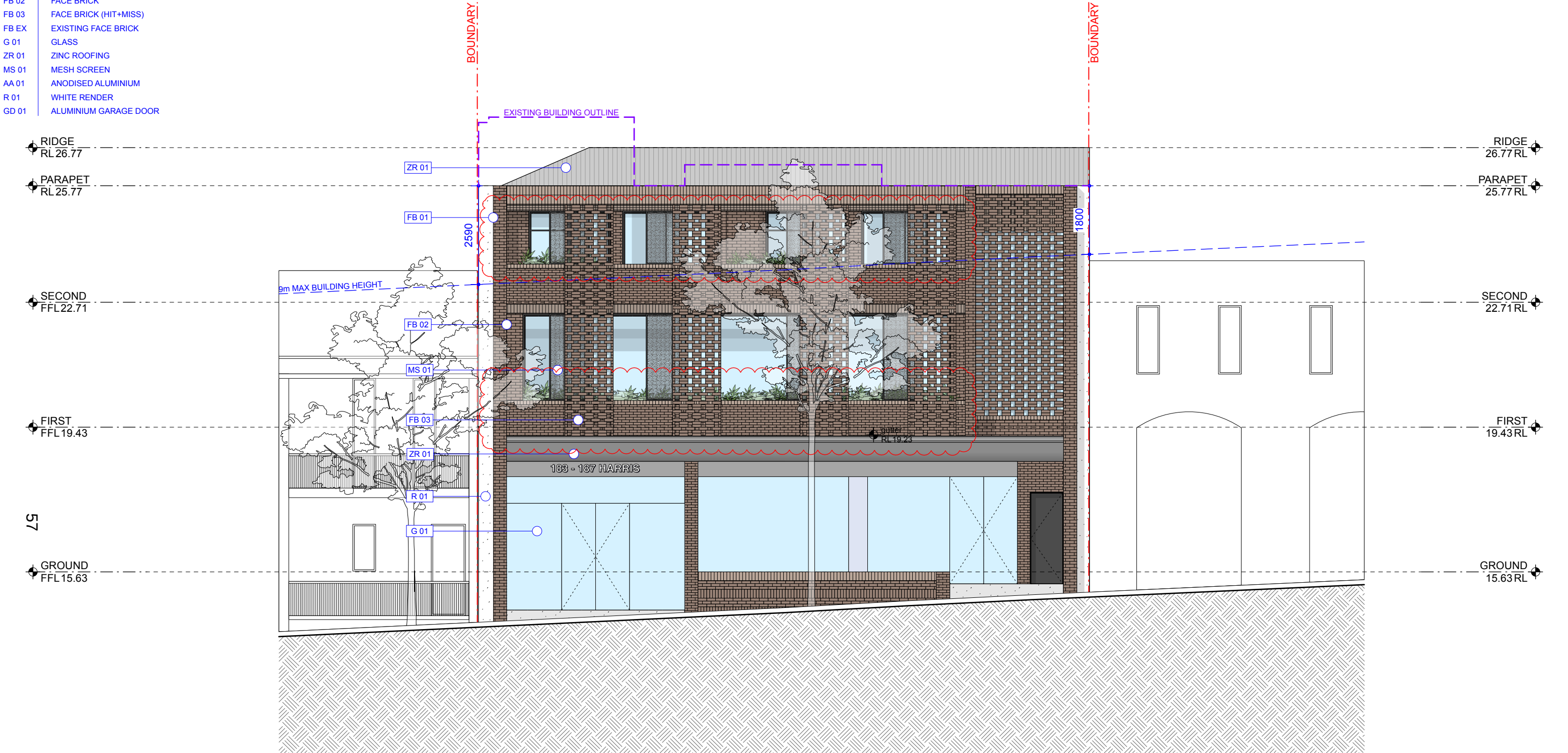
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Drawing
Proposed Section B

Project No.
23007

Sheet No.
DA 2.02

MATERIALS LEGEND	
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FB 02	FACE BRICK
FB 03	FACE BRICK (HIT+MISS)
FB EX	EXISTING FACE BRICK
G 01	GLASS
ZR 01	ZINC ROOFING
MS 01	MESH SCREEN
AA 01	ANODISED ALUMINIUM
R 01	WHITE RENDER
GD 01	ALUMINIUM GARAGE DOOR



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Existing Wall	
To be demolished	
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New Const. / Brickwork	Elev.
New Const. / Concrete	Elev.
New Const. / Metal	Elev.
Glass	
Finished floor / relative level	FFL / RL
Downpipe	DP

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Project
Alterations and Additions
183-187 Harris Street, Pyrmont

Client
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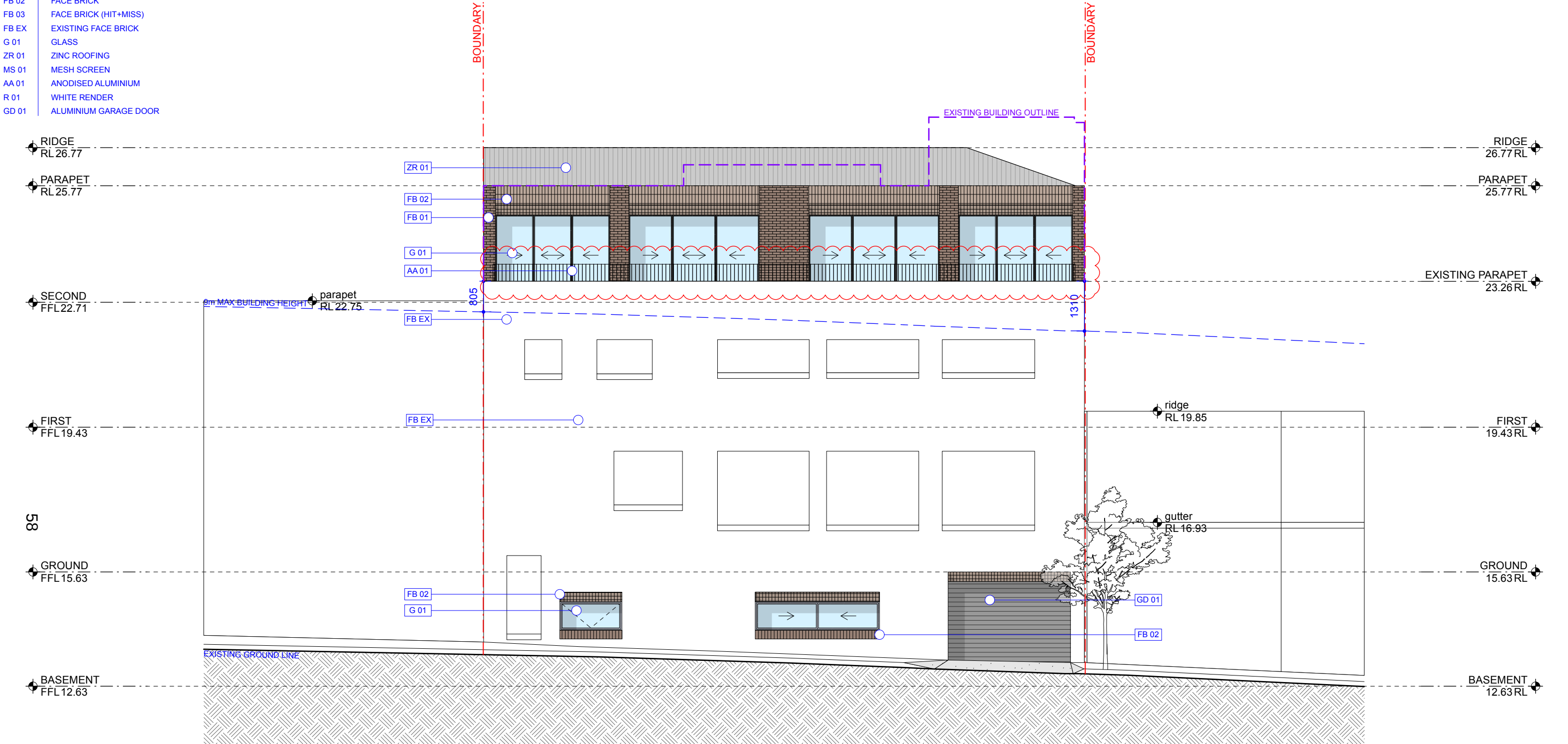
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Drawing
Proposed North-East Elevation

Project No.
23007

Sheet No.
DA 2.03

MATERIALS LEGEND		
FB 01	FACE BRICK	
FB 02	FACE BRICK	
FB 03	FACE BRICK (HIT+MISS)	
FB EX	EXISTING FACE BRICK	
G 01	GLASS	
ZR 01	ZINC ROOFING	
MS 01	MESH SCREEN	
AA 01	ANODISED ALUMINIUM	
R 01	WHITE RENDER	
GD 01	ALUMINIUM GARAGE DOOR	



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New Const. / Metal	Elev.
Glass	
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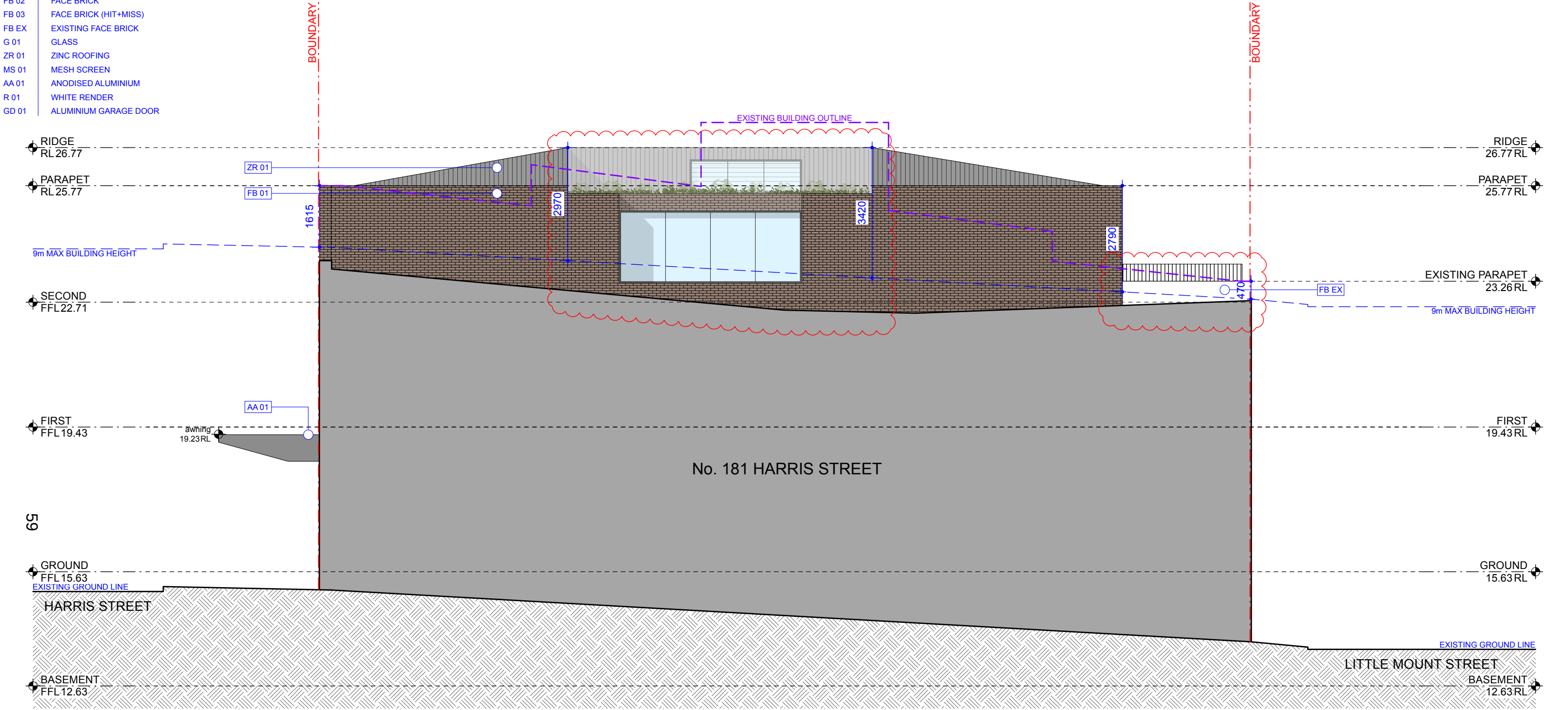
Scale
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Drawing
Proposed South-West Elevation

Project No.
23007

Sheet No.
DA 2.04

MATERIALS LEGEND	
FB 01	FACE BRICK
FB 02	FACE BRICK
FB 03	FACE BRICK (HIT+MISS)
FB EX	EXISTING FACE BRICK
G 01	GLASS
ZR 01	ZINC ROOFING
MS 01	MESH SCREEN
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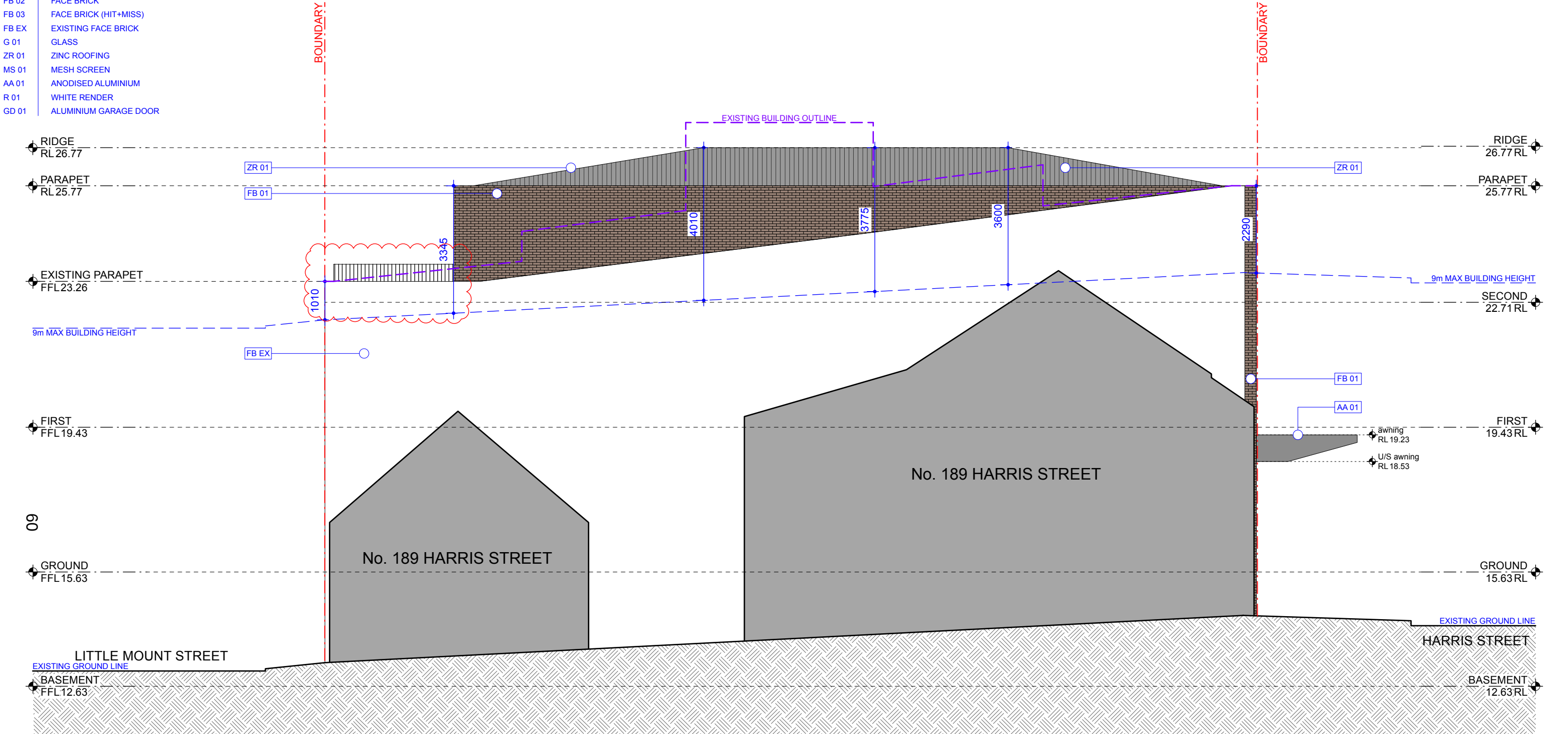
Status
Development Application (DA)
Not For Construction

Scale
1:100

Drawing
Proposed North-West Elevation

Project No. 23007
Sheet No. DA 2.05

MATERIALS LEGEND	
FB 01	FACE BRICK
FB 02	FACE BRICK
FB 03	FACE BRICK (HIT+MISS)
FB EX	EXISTING FACE BRICK
G 01	GLASS
ZR 01	ZINC ROOFING
MS 01	MESH SCREEN
AA 01	ANODISED ALUMINIUM
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Status
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Scale
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Drawing
Proposed South-East Elevation

Project No. Sheet No.
23007 DA 2.06